



EAST CAMBRIDGESHIRE
DISTRICT COUNCIL
Local Development Framework

LITTLEPORT

Conservation Area

Supplementary Planning Document

FEBRUARY 2011



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1 Introduction

- 1.1 Littleport conservation area was originally designated in January 1991. The boundary of the conservation area currently focuses on the historic town centre. The conservation area contains several significant historic buildings and features, many of which are listed. This document aims to fulfill East Cambridgeshire District Council's duty to 'draw up and publish proposals for the preservation and enhancement' of these areas as required by the Planning (Listed Building and Conservation Area) Act 1990.
- 1.2 The document includes; a review of the boundaries of the areas, a character appraisal, design guidance for new development and policies for the management and monitoring of the area in order to preserve its character.

2 Public Consultation

- 2.1 The public consultation will be carried out in compliance with the Council's adopted Statement of Community Involvement (17/10/06).

3 What are Conservation Areas?

- 3.1 Conservation areas are defined as *"areas of special architectural or historic interest, the character or appearance of which it is desirable to preserve or enhance"*.
- 3.1 When a conservation area has been designated, it increases the Council's controls, with planning applications judged by their impact on the character and appearance of the area. Greater controls over the demolition of buildings and structures are imposed whilst the rights that owners have to do works to their properties without the need to obtain planning permission (known as permitted development rights) are reduced or can be taken away. Stricter controls are also exercised over the design of new buildings, and owners must give the Council six weeks notice of their intention to carry out works to trees. Planning applications affecting a conservation area must be advertised on site and in the local press to give people the opportunity to comment.

4 What is a Conservation Area Appraisal?

- 4.1 There is a duty on the Local Planning Authority to determine what parts of their district are areas of special architectural or historic interest. Having established a conservation area they are also required to review the designation and boundaries of the area. This is to ensure the area is still considered to be of value and to determine whether any areas have been overlooked or changes have occurred which require the boundaries to be redrawn. Any pressured for change in the area can then be identified and enhancement opportunities highlighted.
- 4.2 The appraisal document sets out the historical and economic context for the locality and identifies what it is that makes the conservation area of special interest. It serves to provide clear guidance on what should be conserved in the area with specific policies devised for

Development Control to help assess planning applications made on properties in the area.

5 Overview of the area

- 5.1 Littleport is located to the north of Ely and is a mix settlement with a once vibrant town centre. The conservation area centres on the area around the commercial heart of the town and incorporates the surrounding residential areas.
- 5.2 Littleport is a relatively old settlement and there are records of occupation here dating back to the 11th century, although it was relatively small in comparison to neighbouring villages. Since the medieval period the population has risen steadily and today the village is of sizable proportions and is one of the larger settlements in the district.
- 5.3 There are several key features that can be found within the village and these contribute to the special character and appearance of the area, these include:
- Thatched roofs;
 - Slate and tiled roofs;
 - Brick built;
 - Two storeys;
 - Terraced properties;
- 5.4 The building materials found in Littleport play an important role in creating character of place. A variety of building styles can be found within the conservation area however the materials are generally limited to brick and slate or tiles.
- 5.5 Due to the dense development pattern in the town centre many of the streets contain terraced or semi-detached properties. The areas of modern development tend to feature larger detached properties and bungalows.
- 5.6 As stated previously most properties in the conservation area are constructed of brick, although the type and colour varies and there is not a uniformed style so to speak. The predominant brick is of a buff colour although red brick is also found throughout the town centre. Several properties within the conservation area have been rendered in a variety of colours, some of which do little to enhance the conservation area.
- 5.7 Slate and tiles are the main roofing material found within the conservation area although there are also a few flat roofed properties and thatched properties.

6 Boundaries/extent of conservation area (see map 1 appendix A)

- 6.1 The current boundary of the conservation area focuses on the historic centre of Littleport and takes in much of the town's retail areas. The conservation area covers the two main streets through the town, Main Street and Wellington Street as well as several interlinking streets between the two, including Church Lane, Crown Lane, Globe Lane, Hitches Street, Granby Street and White Hart Lane.
- 6.2 Development in the conservation area has been limited to the edges with very few sites for large-scale development within the town centre areas. There are some examples of modern infill development and several sites have been identified as having the potential for development in the future.

7 History

7.1 Prehistoric

There has been little investigation of Palaeolithic activity in this area and previous surveys have not included the land around Littleport. The earliest finds are from the Mesolithic period and are clustered in the southeast of the parish. The area around the Ouse roddon was an attractive area for settlement during this and the Neolithic period. During the Bronze Age, there was activity again to the southeast of the parish and evidence from throughout this period has been discovered in various locations. There are no known funerary monuments dating from this time. The area surrounding Littleport has little evidence of Iron Age activity that is surprising due to the known activity and settlement in other locations in the district.

7.2 Roman

Roman activity was focussed on salt production from the fens in this area. There has been some evidence of Roman activity around Littleport and a high status building is believed to have been located at Camel Road. It is unlikely that there was large-scale settlement at Littleport itself.

There is no known activity from the Saxon period in Littleport, however it is possible there was a hut site at Hill Farm to the north of the Parish. Some archaeological finds have come from several locations however they were not accompanied by evidence of settlement.

7.3 Medieval

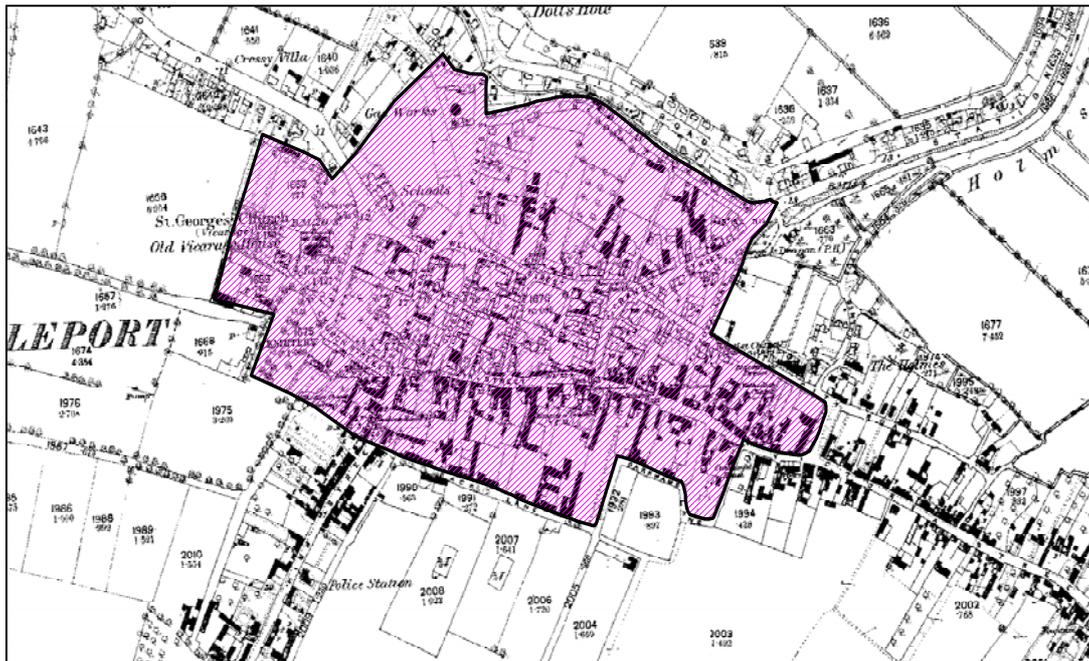
By the time the Domesday Book was written in 1086, Littleport was a manorial settlement belonging to Ely Abbey. Littleport was allocated to the bishop in 1109, the manor continued to expand as a result of reclamation over the 13th century.

Up until 1601 the diocese leased the manor out then it was divorced from the bishop into secular control. There was still a large amount of land being reclaimed, a survey in 1610 a total of 1500 acres was enclosed and embanked, 300 acres enclosed and 600 acres under

consideration. This is a huge amount of land in comparison to other parishes in the district at this time.

7.4 Post Medieval

By 1801 Littleport was the largest village in the district. The village was a local centre of dissent and the Littleport Riots are a significant event in the town's history. There were also a high number of non-conformists in the town during the 17th century and Baptists and Quakers both had congregations here during this time.



7.5 Modern

Today the town of Littleport has expanded greatly in terms of residential growth. Most of the development has taken place to the south and west of the original settlement making Littleport one of the largest settlements in the district.

Today the town of Littleport serves as a local centre, in the 19th century there was a large shirt factory, however this has since closed. More recently several industrial parks have been developed on the outskirts of the town but it is not regarded as a major retail centre.

8 Archaeology

- 8.1 Cambridgeshire County Council holds a database where all the archaeological finds have been recorded. This is therefore a summary of the evidence amassed to date.
- 8.2 There is some evidence towards the fen edge of possible Iron Age or Roman ditches, thought to be field boundaries. However, there is a lack of evidence suggesting occupation of the hill on which the village now sits.

- 8.3 The bulk of known archaeological evidence in this area dates from the Roman period. This is due to the intensive salt extraction industries that were present at this time. Scattered along the roddon of the Old Croft there are various sized settlements. It is believed that activity was taking place in this location throughout the Roman period.
- 8.4 The church of St George dates from the 14th century suggesting a more intensive settlement pattern on the hilltop, however very little archaeological investigative work has been carried out to confirm this.
- 8.5 Very little archaeology has been carried out in the historic core of Littleport. Some evaluation along the northern side of Wisbech Road suggest that this area was too wet for settlement, no investigations have been carried out to the south.
- 8.6 There are no scheduled ancient monuments documented in Littleport.

9 Location and Landscape setting

- 9.1 The parish of Littleport is one of the largest in the area and the town of Littleport is situated to the north of the district, near the border with Norfolk. The town sits on an island within the fens, which at its highest point sits approximately 20m above sea level.
- 9.2 The town of Littleport is surrounded by Fenland with the River Ouse once running through the town on the route of the Old Croft River. Much of this old watercourse is now dry and the Ouse now follows the course of the Ouse Cut, constructed in 1827.
- 9.3 In the most part Littleport now serves primarily as a commuter town for the larger settlements of Ely and Cambridge. The railway station to the east of the town also provides a frequent passenger service to London

10 Street Analysis

10.1 Church Lane

- 10.1.1 Church lane is situated to the west of the village and runs from Main Street past St George's Church. There is little residential development along Church Lane with The Limes to the southeast and several more modern properties opposite the church.



10.1.2 The overall character of Church Lane is relatively open with the area to the south in which the Harley Davidson art installation and the large churchyard and grounds of St George's Church and old vicarage.



10.1.3 At the junction of Church Lane and Wisbech Road the Old School House sits in a prominent location facing the church. This building has been successfully converted into residential flats and continues to have a strong visual presence in this part of the conservation area.

10.2 Main Street/Victoria Street

10.2.1 Main Street is the main shopping street in the town and has a variety of building styles along it. This street leads into Victoria Street that leads away from the town centre. At this junction there is an immediate change in the character of the street with residential use increasing moving away from the town centre.



10.2.2 There is one listed building along Main Street and several others that have a positive impact on the character of the conservation area. Several of these buildings occupy key sites along the street giving them a strong visual presence in the street scene.

- 10.2.3 Some of the shops have undergone unsympathetic alterations, including inappropriate signs and lighting levels. There are opportunities to enhance these building.
- 10.2.4 There is also some evidence of vacant units and upper floors along Main Street that can create the image of a faltering shopping street, if not addressed. However on the whole the street has a pleasant meandering character through the town.
- 10.2.5 Improvements could be made to the quality of the public realm and street furniture in order to improve the area further.

10.3 Wellington Street/Station Road

- 10.3.1 These streets run into each other and are parallel and to the north of Main Street. These streets are predominantly residential in nature. To the north side of Wellington Street there is a mix of building styles and types. There are several examples of quality properties along here and these have a positive impact on the character of the conservation area.
- 10.3.2 Some of the properties on the south side are not in keeping with the overall character of the town, especially at the junctions with the cross streets; Globe Lane, Hitches Street and Granby Street. This is often where the commercial premises of these streets meet with the residential properties.

10.4 City Road

- 10.4.1 This street is a continuation of Wellington Street, that branches south at the junction with Station Road forming a Y at this point. Predominantly residential in nature this street contains a mix of architectural styles and building dates. Many of these are more modern in nature however a few older buildings still remain.
- 10.4.2 At the eastern end of City Road many of the plots are the back boundaries of the properties along Victoria Street, which have remained undeveloped. As such this section of the street has a relatively undeveloped feel to it. The row of bungalows, 1-6 Victoria Gardens are unusual in this location, as they have been built gable end on to the two main highways. This goes against the traditional grain of development in the town but allows the properties to fit in relatively well with the surrounding properties whilst having a minimal impact on the character of the area.

10.5 Hempfield Road/Barkham's Lane

- 10.5.1 These roads run into each other and mark the southern extent of the conservation area. Running south and parallel to Main Street, these roads are residential in nature and comprise a total mix of building ages and architectural styles.
- 10.5.2 Originally this area of land was relatively open and had little development on it. However, as the town grew it became an obvious

site for development. Unfortunately none of the original boundaries or plots can be seen today and some of the architectural styles are not in keeping with the character of the town centre.

10.6 The Hythe/Ponts Hill

10.6.1 This street marks the northern extent of the conservation area and would have previously been an important historic route way. Today however, it encloses a modern housing estate that has resulted in the loss of all historic features in this area.

10.6.2 In terms of architectural styles the buildings in this area are generally one or two storey, detached properties. The majority of the buildings are obviously 20th century in their design and do little to preserve or enhance the character or appearance of the conservation area. There are no listed buildings or buildings of historic or architectural significance in this area.

10.7 High Street/Crown Lane

10.7.1 This is the first of several cross streets in the town centre joining Main Street and Wellington Street. Only a few properties along High Street are included within the conservation area and these are of a generally high quality.

10.7.2 The Methodist Church is a prominent building in this location and although not listed it is a building of architectural importance that has a positive impact on the character of the conservation area. Opposite the church is number 5 High Street; a grade II listed building that sits on the edge of the conservation area.



10.7.3 The Garage site on the corner of Crown Lane and Church Lane is a large industrial scale building located in a very prominent location which currently detracts from the character of the conservation area.

10.7.4 The other properties along Crown Lane are mainly commercial in nature with the public house on the corner filling a visually dominant location at the start of Main Street. The neighbouring old Lloyds bank is a large, thatched property that has a positive impact on the conservation area.

10.8 Globe Lane

10.8.1 The second cross street in the town centre, the western side of which is sparsely developed. The old bank building on the corner is a significant building in the conservation area dating from the 1920s. This side of the street has two areas of open space one of which is currently used as a car parking area. The Evangelical Church sits in the middle of the street; a modern, low profiled building that has a neutral impact on the conservation area.

10.8.2 The co-operative building at number 30 Main Street is a modern infill building that does little to enhance the conservation area and is located in a visually prominent location within Main Street. The area to the rear of the building currently functions as a car park and again does not have a positive impact on the conservation area.



10.8.3 The eastern side of this street is predominantly residential properties; generally brick built some have been rendered over. Number 4 is a commercial property, at the time of visiting it was hard to tell if it was in occupation or not.

10.9 Hitches Street

10.9.1 This street again connects the two main streets and is residential in nature. The western side is more densely developed and consist of a

terraced street with different architectural styles, becoming more modern towards Wellington Street.

10.9.2 Numbers 13-23 are of a modern design and are a contrast to the older terraced properties of numbers 1-11. Most of these older properties have had their windows and doors replaced and are now plastic and several have also been rendered. This creates a bit of a mixed streetscape that could have been improved by retaining one style of window and doors.

10.9.3 To the eastern side of the street the long elevation of number 18 Main Street takes up a large area of this street scene. Abutting the back elevation of this property is a small brick built, thatched cottage. This is an unusual building in this location and has a positive impact on the character and appearance of the conservation area.



10.10 Granby Street

10.10.1 The last of four cross streets in the town centre, Granby Street is predominantly commercial in character with a distinct mix of architectural styles found along it.

10.10.2 To the east, small units, many of which retain their traditional shop fronts are found including numbers 3 and 7-11 Granby Street. These properties are in good repair, have a very positive impact on the appearance of the conservation area and should be retained.



10.10.3 To the west the architecture is not so in keeping with the character of the area. A large part of the street frontage is the façade of the Granby Business Centre. This large brick built building does little to enhance the conservation area and has a detrimental impact on its character.



10.10.4 The properties at the top and bottom are of high quality; the library at the junction with Main Street and number 5 at the junction with Wellington Street. These properties are of high quality and have a positive impact on the conservation area.

10.11 White Hart Lane

10.11.1 This street is the last cross street and continues up to meet Station Road to the north. To the east the main property is the old Burberry factory that has been converted into flats. Opposite this on the corner of Victoria Street is a large flat roofed supermarket; in such a prominent location it is unfortunate that a more sympathetic design wasn't used.



10.11.2 Several more residential properties are found further along this street, forming a triangle of land between City Road, Station Road and White Hart Lane. This area again contains a mix of development styles with individual properties and a small block of flats contained within it.

11 Spatial Analysis

11.1 Key Views

11.1.1 Views into and out of the conservation area can have a significant impact on its character and appearance and should be preserved where possible.



11.1.2 The most significant views within Littleport conservation area are those along Main Street and those towards St George's Church. The Main Street is as the name suggests the main street within the town centre and as such forms an important focal point in the village as a shopping

and meeting area. Main Street is not a straight linear street and does have a slight bend in it, creating a feeling of a narrow, meandering high street.

- 11.1.3 The grade II* listed Church of St George is another important focal point within the village and is set in extensive grounds with mature trees and planting surrounding it. The Church is best viewed from Church Lane and Wellington Street (travelling towards Wisbech Road). These views of the church should be protected.



- 11.1.4 Currently the views into and out of the conservation area are not of specific significance in terms of focal points or features. However as with all conservation areas it is important that any development on the boundary should continue to preserve or enhance the conservation area and not have a detrimental impact. The surrounding areas at the moment are all developed land, mostly residential in nature and are of a variety of development styles. There is currently little scope for development around the boundary.

11.2 Open Spaces & Focal Points

- 11.2.1 The main open spaces within the conservation area are found to the eastern boundary, surrounding the church. The large churchyard creates an impressive setting for the grade II* church.
- 11.2.2 Churchyards not only provide an attractive setting for churches but they are also important wildlife habitats. Care should therefore be taken to preserve these important areas. The abundance of mature trees and plants in the churchyard also has a positive impact on the character of the conservation area.
- 11.2.3 Opposite the church, also on Church Lane is an area of open space that contains public footpaths and a piece of public art commemorating Harley Davidson. Again the abundance of mature trees in this space creates an attractive area within the conservation area.



11.2.4 Unfortunately there are also a number of open spaces within the conservation area that currently function as car parking areas. Many of these do not have such a positive impact on the character and appearance of the conservation area. Most of these are set back from the main public highways and so are not highly visible in the street scene.

11.3 Landscaping and trees

11.3.1 Open space can be in the form of public and private open space. As noted above there are a few areas of public open space that currently contribute positively to the character and appearance of the conservation area.

11.3.2 Due to the nature in which the town developed many of the properties do not have the capacity for garden areas to the front. The majority of properties in Littleport sit on the back edge of the pavement and so the areas of private open space are located to the rear and are not highly visible in the public realm.

11.3.3 Number 2 Victoria Street is an exception to this and is a large, Georgian style property, set back from the main highway with several mature trees in the grounds. This property and its setting has a positive impact on the street scene and should be retained.



11.4 Street furniture and public realm

11.4.1 There have been enhancement schemes carried out in Littleport in the past yet there is little cohesion in many aspects of street furniture and public realm.

11.4.2 Along Main Street many of the lighting columns are of a traditional design and add to the character of the conservation area. However, along the remaining streets the lighting columns are of a standard design that does little to enhance the area.



11.4.3 At several points within the conservation area there is a definite problem with overcrowding of street furniture, notably at the junction of High Street/Crown Lane and Church Lane/Main Street and the entrance to the public car parking area.



11.4.4 Street furniture when design well and placed correctly can have a dramatic impact on the character of the conservation area. However when placed poorly and of poor quality it does little to provide enhancement. Unfortunately this can be seen along Main Street.

11.4.5 Where possible signage and columns should be combined to ensure as little clutter as possible within the street scene. Where street furniture is necessary or desired there are opportunities to introduce unique and high quality installations that can add character in their own right.

11.5 Shop Fronts

11.5.1 Shop fronts can play a pivotal role in providing a town centre with character and interest. The predominant shopping street in Littleport is Main Street and several traditional shop fronts have survived in this location.

11.5.2 Where traditional shop fronts do remain care should be taken to ensure their repair and retention. Number 15 is a grade II listed building due to the fact there is significant timber framing remaining internally.



11.5.3 Many of the traditional shop fronts still retain their traditional features such as pilasters, cornices, corbels and stall risers. These components help to create a balanced and functional shop front and should be retained where possible.

11.5.4 There is a mix of old and new shop fronts along Main Street and several of the newer shop fronts are not in keeping or sympathetic to the character of the buildings they occupy. As well as poorly designed signage and shop fronts there are also several in appropriate in fill commercial properties that are not in keeping and have a detrimental impact on the character and appearance of the conservation area.

11.5.5 East Cambridgeshire district council has recently produced a Shop Front Design Guide that should be referred to when proposing new or changes to existing shop fronts in the district.

12 Buildings of Townscape Merit

12.1 Listed Buildings

12.1.1 There are currently several listed buildings within the current boundary of the conservation area:

- Church of St George – grade II*
- 5 High Street – grade II
- 15 Main Street – grade II
- Barn & outbuildings to rear of 15 Main Street – grade II
- 3 Station Road – grade II

12.1.2 These listed buildings vary in status and appearance and have varying impacts on the character of the conservation area. Generally most of the buildings are in relatively good condition and some occupy visually prominent locations within the town.



12.1.3 All but one of the listed buildings are grade II listed with the Church of St George being grade II*. The number of listed buildings in such a large settlement is unusual although it may be that many of the historic buildings were not listed during the original survey.

12.2 Buildings of Local Interest

12.2.1 There are also several unlisted buildings within the conservation area that have a positive impact on its character and appearance, that are worthy of note. Although these buildings are not afforded statutory designation they are worthy of note and should be preserved where possible.

12.2.2 Buildings such as the Old School House, old Lloyds Bank building, the Library, the Barn, Village Hall and 18 Main Street with the attached thatched cottage are all of architectural or historic interest and currently have a positive impact on the character and appearance of the conservation area.

12.2.3 The old School House

This property was once as its name implies the old schoolhouse. Built in a similar style to the church this building appears on the 1883 OS

map of the area. No longer a school the building has been sympathetically converted into flats and continues to be a positive building within the conservation area.

12.2.4 Lloyds Bank

This property is impressive in size and occupies a prominent corner location along Main Street. Its thatched roof and tall chimneystacks make it somewhat of an anomaly in the town centre. Dating from the 1920s the building is a 20th century interpretation of the older Tudor style.



12.2.5 The Barn

Situated at the rear of the main car park this property now houses the Parish Council offices. It was restored some years ago and successfully brought back into active use. The building is hidden away in the car park and is an interesting feature within the town centre.

12.2.6 The Library

Again occupying a prominent corner location along Main Street the library building is a low set, single storey building. Brick built the property has a lot of stone detailing around the doors and windows with gabled dormers along each elevation.



12.2.7 Village Hall

This building is annotated as the 'constitutional hall' on the 1883 OS map of Littleport, although the architectural style and is today used as the village hall. Set in its own plot on Victoria Street the façade is highly decorated with a large round arched window and decorative finials. It is an unusual building within the streetscape and has a positive impact on the character of the conservation area.



12.2.8 Number 18 Main Street

This property is a commercial unit with a single width façade facing onto Main Street. The building stretches along Hitches Street and is attached to a small single storey thatched property at the rear. The front of this property still retains a traditional shop front that should be retained.

13 Boundary Assessment (see appendix A)

13.1.1 As a result of previous unsympathetic development within the conservation area it is proposed to dramatically reduce the current boundary to include the main historic centre of the town.

13.1.2 This will involve the removal of several large areas of modern housing development from within the boundary of the conservation area. Currently these areas are not having a positive impact on the appearance of the conservation area and in some instances are totally unsympathetic to the areas character.

13.1.3 These areas to the north and south of the existing conservation area include the following streets:

- Pont's Hill;
- Old School Close;
- The Hythe;
- Ferry Way;
- Hempfield Road and Barkham's Lane;



13.3.4 Although these areas were historically significant, there are no remnants of any historic fabric remaining today. Many of the original plots have been broken up and divided in order to maximise development opportunities and there are no remaining historic

boundary treatments. It is almost impossible to determine the original use and layout of these areas.

13.3.5 Conservation designation is not meant as a means to restrict development and it should be recognised when a conservation area designation no longer functions as intended. As such it is important to realise when areas have changed so much as to no longer be of historic or architectural significance and amend boundaries accordingly.

13.1.6 It is hoped that reducing the size of the conservation area to focus on the most intact historic area within the town that any future enhancement opportunities can be more specifically target to ensure the preservation and enhancement of the town centre.

13.1.7 By focussing the conservation in this way it is also hoped that any future development opportunities within the conservation area boundary will be more sympathetic to the character and appearance of the conservation area. Mistakes from the past are not a prerequisite for continuing to allow unsympathetic development that is detrimental to the ongoing preservation and enhancement of the conservation area.

14 Enhancement Opportunities

The following list outlines what are considered to be the current pressures on settlements within the District. The list may not be exhaustive and some items may be more relevant than others in Littleport. (They are not listed in any order of importance):

- Loss of traditional style timber framed windows and alterations to window openings;
- Loss of boundary walls and hedges to provide on site parking;
- Loss of traditional outbuildings;
- Conversion of buildings to new uses;
- Introduction of roof lights;
- Use of non traditional materials;
- New development which does not respect the scale form or character of the existing village;
- Introduction of front porches;
- Need to find new uses for existing buildings to facilitate their reuse;
- Installation of satellite dishes to front elevations;
- Blocking up of chimneys leading to loss of pots and possible removal of stacks;
- Changing the front doors with style inappropriate to the property;
- Street furniture and signage clutter.

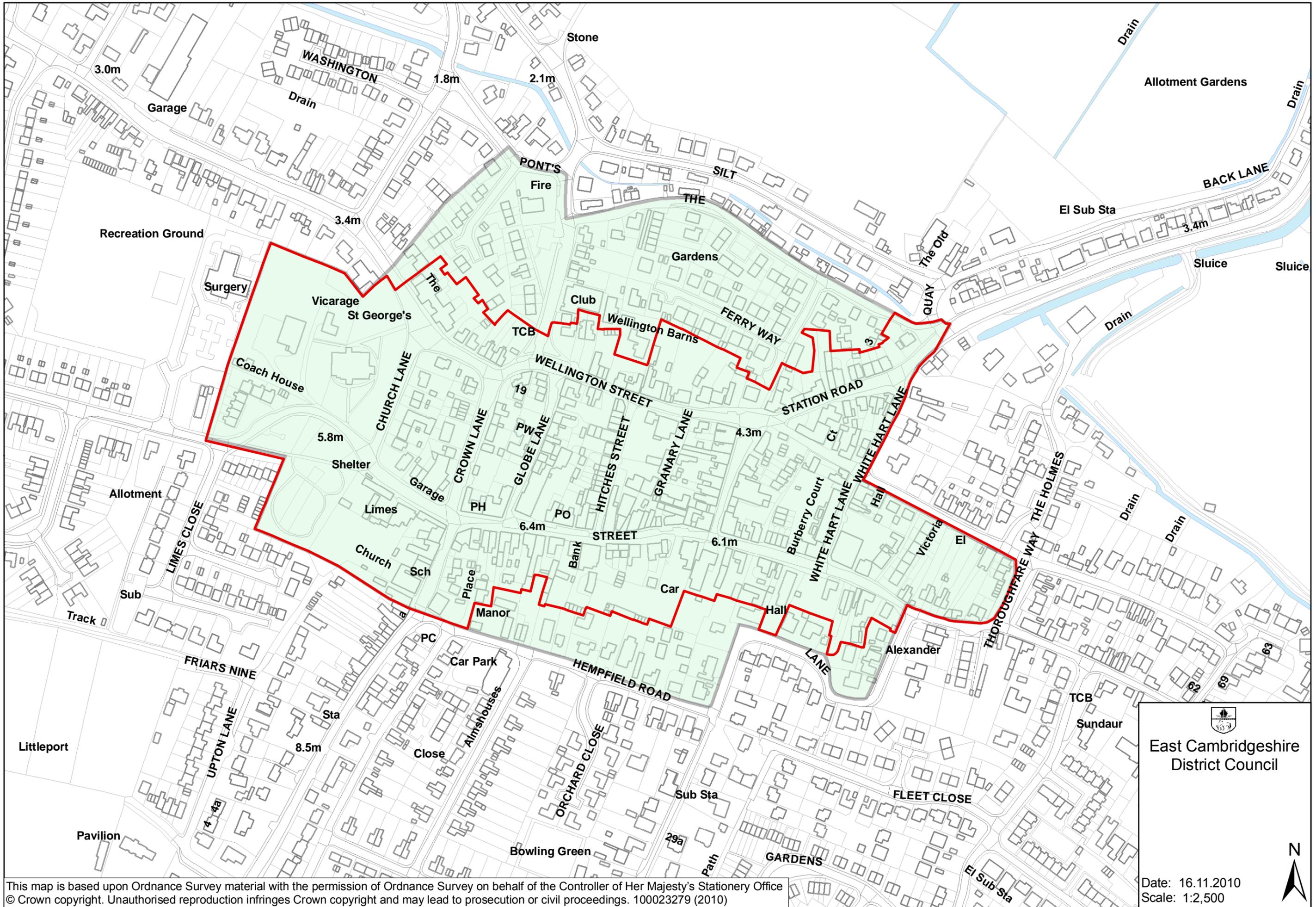
15 Acknowledgements

The historical and archaeological background has been compiled using the following sources:

1. The Cambridgeshire Historic Environment Record
Cambridgeshire County Council
Box ELH 1108
Shire Hall
Cambridge, CB3 0AP
Email: arch.her@cambridge.gov.uk
2. A History of the County of Cambridgeshire and Isle of Ely Volume IV
3. The Inventory of Historical Monuments in the County of Cambridgeshire Volume 2 (North east Cambridgeshire) RCHME pages 16-47
4. The Buildings of England: Cambridgeshire
Nicholaus Pevsner. Yale University Press, 2nd edition 1970
5. Ordnance Survey Maps

APPENDIX A

MAPS



This map is based upon Ordnance Survey material with the permission of Ordnance Survey on behalf of the Controller of Her Majesty's Stationery Office © Crown copyright. Unauthorised reproduction infringes Crown copyright and may lead to prosecution or civil proceedings. 100023279 (2010)


**East Cambridgeshire
District Council**

Date: 16.11.2010
 Scale: 1:2,500



APPENDIX B

RELEVANT PLANNING POLICIES

Cambridgeshire Structure Plan (adopted October 2003)

- P1/2** Protection of sites of archaeological, historic or architectural value
P7/6 Local Authorities will protect and enhance the distinctiveness of the historic built environment.

East Cambridgeshire Core Strategy (adopted October 2009)

This section summarises the main Core Strategy policies that are relevant to the conservation areas.

Policy EN 2

Design

All development will be designed to a high quality, reinforcing local distinctiveness. Design which fails to have regard to local context and does not preserve or enhance the character, appearance and quality of an area will not be acceptable.

New development proposals, extensions and alterations to existing buildings and structures will be expected to:

- a. Have regard to the East Cambridgeshire Design Guide;
- b. Incorporate the sustainable construction principles contained in Policy EN3;
- c. Make efficient use of land while respecting the density, character, landscape and biodiversity of the surrounding area;
- d. Be developed in a comprehensive way, avoiding piecemeal development;
- e. Retain existing important landscaping and natural and historic features and include landscape enhancement schemes that are compatible with the Council's Landscape Guidelines for recreation and biodiversity;
- f. Ensure that the scale, massing and materials of buildings relate sympathetically to the surrounding area;
- g. Provide structure by making use of existing views, vistas and landmarks and creating new ones;
- h. Create safe environments addressing crime prevention and community safety;
- i. Make a clear distinction between public and private spaces, and enhance the public realm;
- j. Ensure that places and buildings are accessible to all, including the elderly and those with impaired mobility;
- k. Provide enclosure to street and spaces through the grouping, positioning and height of buildings and landscape features, and road layouts;
- l. Incorporate the highway and access principles contained in Policy S6;
- m. Ensure that car parking is discrete and accessible and provided in accordance with Policy S7;
- n. Provide adequate waste and recycling storage/collection areas;
- o. Where appropriate, contain a variety and mix of uses, buildings and landscaping;

- p. Ensure there is no significantly detrimental effect on the residential amenity of nearby occupiers, and that occupiers of new dwellings are provided with acceptable residential amenity;
- q. Ensure that there is no detrimental effect on the appreciation of Ely as an historic cathedral city in the quality of the approaches and the quality of views of the cathedral distant and close to.

The Council may require the submission of development briefs for certain proposals, and will notify developers of this requirement at an early stage in the conception of proposals.

EN2 - Design

- Well-designed, safe and attractive new development that respects its surroundings can help to raise the quality of the built environment and have a significant impact on everyday life. Good design is a key element in sustainable development and it is a strongly held aspiration of the Council to raise the standard of design in all proposals to assist vitality, and create a 'sense of place' in communities and neighbourhoods.
- The Government requires Design and Access Statements to be submitted with most planning applications. These Statements are intended to demonstrate how a proposal is functional, attractive and accessible to all. Comprehensive guidance on the format and content of a Statement is provided on the Council's website. Further information on design can be found in 'Building for Life' published by CABI, which includes advice on character, public space, design and construction, and the surrounding environment and community. Also helpful in street design is the Government publication 'Manual for Streets' which gives advice on the creation of high quality residential streets. The Council encourages developers to incorporate these principals in their proposals. Developers are also encouraged to go beyond minimum access standards contained in Building Regulations to provide higher standards of accessibility for all within public spaces and individual buildings.
- Development must be of the appropriate scale, design and materials for its location and conform to the design principals set out in the policy below. All new buildings and spaces must enhance and respect their surroundings and contribute towards local identity, whilst securing and maintaining a high level of general amenity for residents and workers in the district. The particular importance of design in areas of historic conservation is detailed in Policy EN5.
- The importance of new developments complementing and relating to their surroundings, whilst being safe and accessible to all, is established in the strategic objectives of the Core Strategy. The objectives also seek to mitigate the impacts of climate change, and the environmental performance of new buildings is addressed in Policy EN3 'Sustainable East Cambridgeshire Core Strategy construction and

energy efficiency'. Good design can reduce energy consumption and improve sustainability and the Council will actively promote development incorporating new technology and contemporary design where it provides appropriate visual context or contrast in respect of its surroundings.

- Crime, and the fear of crime, is amongst the top concerns of local communities, and these concerns are reflected in the strategic objectives of this plan. Design can make a significant contribution towards reducing the scope for crime, and create more pleasant and reassuring environments in which to live and work. In addition to appropriate design of buildings, open spaces must be safe and believed to be safe so that their full enjoyment for play, walking, sport and general amenity can be fully utilised and appreciated. Increasing natural surveillance, layout of roads and paths, planting, positioning and use of open space, and secure standards of doors and windows are areas for particular consideration. In town centers covered by CCTV systems developers will be required to consider these facilities in their design and/or contribute to the siting/re-siting of cameras where appropriate. National guidance to assist in designing out crime is contained in 'Secured by Design', and developers are advised to contact Cambridgeshire Constabulary for further advice.
- Good design can help to ensure that the best use is made of land, as required by Government guidance in PPS3. The piecemeal incremental development of an area with no regard to an overall plan or concept development of a large site can result in an unsatisfactory form of development by preventing proper consideration of how various elements, such as landscaping, open space and footpaths, fit together, thus preventing a holistic approach to design. Piecemeal development schemes that would prevent adjacent land or other nearby sites from coming forward – for example, by impeding future access, will also be resisted. However, phased development will be supported where it is related to a comprehensive scheme/master plan which addresses overall infrastructure provision, access and internal circulation by pedestrians, cyclists and motor vehicles, landscaping, open space and play space provision, and affordable housing.
- Good connectivity and movement between spaces requires a high standard of design. The Council is committed to reducing dependence on the car, minimising the impact of car parking, and improving accessibility for pedestrians, people with impaired mobility, cyclists, horse riders and public transport. All development proposals will be required to incorporate safe, attractive and convenient road design, access and parking arrangements and pedestrian routes as detailed in Policies S7 and S8. The advice of the County Highways Authority will be sought in relation to these issues. Development schemes should aim to protect and enhance existing links and look for opportunities to improve and expand them.

- For large and more complex schemes the Council will require a more detailed development brief to be submitted in advance of an application, and shared with the local community. Such information will show how the design has evolved and how design-related considerations have been addressed. It will also provide an opportunity for engagement of the local community at an early stage, and enable the Council to check that key issues have been addressed, thus helping to speed up the planning application process. It is not appropriate to be precise about when a development brief may be required, as much depends on the nature of the site and the proposal. Developers will need to discuss the issue with the Council at an early stage in proceedings.
- It is proposed to produce an East Cambridgeshire Design Guide to be adopted as SPD. This will contain more detailed guidance on how design should compliment local architectural traditions, and how sustainable construction techniques can be incorporated within the East Cambridgeshire Core Strategy context of the quality and character of the existing built heritage. Other detailed local context information can be found in Conservation Area Appraisals, the Ely Environmental Capacity Study, the Cambridgeshire Landscape Guidelines and Parish Plans, and these should be taken into account. Reviews of these documents will occur during the lifetime of the LDF and the most up to date material should be referred to.
- Guidance on the appropriate design of shop fronts and advertisements will be set out in the Shop fronts and Advertisements Supplementary Planning Document. Further general design guidance can be found in Government guidance document 'By Design', the companion to PPS1.

Policy EN 5

Historic conservation

Development proposals, within, or affecting a Conservation Area should:

- Be of a particularly high standard of design and materials that will preserve or enhance the character or appearance of the area;
- Retain attractive traditional features such as original doors, windows and boundary walls;
- Only involve the demolition of buildings where:
 - They are of little or no importance to the architectural, historic or visual character or appearance of the area; or
 - They are structurally unsound (for reasons other than deliberate damage or neglect) and beyond reasonable repair, and measures to sustain an existing use or find an alternative use have been explored and failed; and in all cases
 - Detailed proposals for reconstruction or redevelopment have received planning permission.

Proposals to extend alter or change the use of a Listed Building, or which affect the setting of a Listed Building will only be permitted where they would:

- Preserve the building or its setting or any features of special architectural or historic interest which it possesses; and
- Support the long-term preservation of the building.

Proposals to demolish all or part of a Listed Building will only be permitted in very exceptional cases where:

- The building is structurally unsound (for reasons other than deliberate damage or neglect) and beyond all reasonable repair; and
- All possible measures to sustain an existing use or find an alternative use have been explored and failed, and preservation in charitable or community ownership is not possible or sustainable; or
- Where redevelopment would bring wider public benefits; and
- Preservation in a charitable or community ownership is not possible or suitable; and
- Detailed proposals for reconstruction or redevelopment have received planning permission.

The Council will take action to enforce repair of Listed Buildings where appropriate.

EN5 - Historic conservation

- East Cambridgeshire contains a great wealth and variety of buildings and areas that are of special importance to the character and appearance of towns and villages, the most famous being Ely Cathedral. Just as the landscape changes from open fen in the north to more undulating areas of chalk and clay hills in the south, the character of buildings and settlements also change, reflecting the considerable diversity of the area. Certain proposals affecting Conservation Areas and Listed Buildings are subject to specific consent procedures, and PPG15 sets out the detailed considerations that must be followed in these applications. The Core Strategy aims to ensure that the built heritage is conserved and enhanced by sympathetic preservation and high quality design.

Conservation Areas

- The Council has designated 29 Conservation Areas in the district. These are listed in Appendix 5 and the boundaries are shown on the accompanying Proposals Map. These areas have been designated due to their particular architectural or historic interest, taking account of the overall quality of the area, mix and style of buildings, quality of open spaces, and other features which contribute to the overall character. The Council is currently undertaking a programme of Conservation Area reviews, looking at their boundaries, character and general condition through the production of Conservation Area Appraisals. In addition to the review of existing Conservation Areas the programme also includes the designation of new Conservation Areas. The Conservation Area Appraisals for both the revised and new Conservation Areas will be adopted as Supplementary Planning Documents to the LDF.

- Designation emphasises the special care that must be taken over the design, layout and materials of development proposals to ensure the character and appearance of these areas is retained and enhanced. Traditional features and locally characteristic designs should be recognised and reflected in development proposals. However, new development does not always have to mimic the past, and high quality designed schemes which provide a successful visual contrast with their surroundings may also preserve and enhance character.
- Demolition of buildings in Conservation Areas will be resisted, except in very exceptional cases where it can be satisfactorily demonstrated that the building is structurally unsound or of little or no importance to the character and appearance of the area. In all circumstances, demolition will only be allowed if planning permission has already been obtained for the redevelopment of the site, to ensure the special character of the area is preserved or enhanced.
- Where necessary, the Council will use Urgent Works and Repairs Notices, Section 215 notices and Article 4 Directions to maintain and enhance the quality of Conservation Areas.

Listed Buildings

- Buildings are listed by English Heritage in national recognition of their special architectural or historic interest, and any works which affect the character of a Listed Building require Listed Building Consent. Within the district there are almost 930 Listed Buildings, about 100 of which are Grade I or Grade II*. The high ratio of Grade I and II* is due in part to Anglesey Abbey and the Ely Cathedral complex. The main aim of listing is to prevent alterations which are detrimental to the special character of the building or structure, including the interior. The Council is committed to identifying Listed Buildings at risk and encouraging their repair and reuse, and will take formal action to enforce repair, where appropriate. The East Cambridgeshire Core Strategy setting of a Listed Building is also important, and proposals which detract from the setting will be resisted. Similarly, where a Listed Building has landscape value, contributing to the wider setting of a settlement or the countryside, it will be necessary to demonstrate that development proposals do not adversely affect character or views.
- There is a strong presumption in favour of the preservation of Listed Buildings and demolition will be approved only in the most exceptional circumstances as set out in Policy EN5, after applicants have demonstrated that every effort has been made to keep the building. If demolition is permitted, the Council is likely to require an appropriate archive of the features and fabric that would be lost. Often the best way of preserving a Listed Building will be by securing an active, economically viable use, and sympathetic consideration will be given to proposals which help to secure the long term future of the building. Such proposals will only be acceptable where there is no detriment to the structure, character, appearance or setting of the building.

Locally Listed Buildings

- Government policy in PPG15 'Planning and the Historic Environment' 2004 gives provision for local authorities to draw up lists of locally important buildings which make a valuable contribution to the local scene or local history, but which do not merit national listing. These will be given additional protection and their status will be a material consideration, but they will not enjoy the full protection of statutory listing. A local list will be developed by the Council in conjunction with local amenity groups.

Archaeological Sites and Monuments

- East Cambridgeshire has a rich and varied archaeological heritage. In the north of the district, settlement from the early pre-historic period focused on the dry land of the Isle of Ely and surrounding fen margins, although well preserved artefacts and organic remains may occur in the areas of fen. Extensive evidence of Roman activity survives throughout the district, and in addition to the historic City of Ely, numerous medieval villages and towns survive to the present day. The Council wishes to make every effort to safeguard this archaeological heritage, which is vulnerable to modern development and land use. Known sites of national importance are designated as 'Scheduled Ancient Monuments', and these are shown on the Proposals Map and listed in Appendix 5. Other sites of regional or local significance are listed in the County Historic Environment Record, maintained by Cambridgeshire County Council. As most archaeological remains are yet to be discovered it is crucial that sites of potential interest are appropriately assessed. Development adversely affecting a site of known or identified national importance will be resisted and the impact of development on all types of remains should be minimised. There will usually be a presumption in favour of in-situ preservation of remains, unless it can be shown that the recording of remains, assessment, analysis, report, publication and deposition of archive is more appropriate. Such recording should take place before development starts. The Council will be guided in these issues by Government advice contained in PPG16 'Archaeology and Planning' (1990), and advice from the Cambridgeshire County Archaeology Department.

Historic Parks and Gardens

- The District contains a number of areas of historic parkland and gardens that form an important part of the county's heritage and environment. The most significant sites are identified within English Heritage's 'Register of Parks and Gardens of Special Historic Interest' and as advised by the County Council's Archaeology Team (and reflected in the list in the East Cambridgeshire District Local Plan). These sites are shown on the Proposals Map and are listed in Appendix 5. The registers have no statutory status but PPG15 states that the planning system should be used to protect the character, appearance, amenity value and setting of these sites.

APPENDIX C

DEVELOPMENT CONTROL GUIDANCE

1 Introduction

- 1.1 The purpose of this document is to provide guidance to prospective developers by clearly setting out the key issues, which will influence the Local Planning Authority's decision on any planning or other application, submitted in the area.
- 1.2 This guidance should be considered in the context of the relevant national legislation and policy documents, in particular:
 - Planning Policy Statement 5: Planning for the Historic Environment
 - Planning (Listed Building and Conservation Area) Act 1990.
- 1.3 This guidance and the associated conservation area appraisal for the area should be read in conjunction with the supporting policies in the East Cambridgeshire Core Strategy (adopted Oct 2009).
- 1.4 Conservation area designations are not intended to preclude development in an area. Littleport has developed over time and this guidance therefore attempts to ensure that the area continues to thrive, but without prejudicing the key features which define its character or appearance.
- 1.5 The underlying principle of this guidance is to ensure Littleport conservation area continues to develop in a considered way, which will retain its essential character. Sustainability should, therefore, be at the heart of any development proposals, which should be durable, adaptable, and of high quality.

2 Submission of Applications

2.1 Outline planning applications

Outline applications for development within the Conservation Area will not be accepted unless they contain sufficient supporting information by which the impact of the proposed development on the character and appearance of the Conservation Area can be judged.

2.2 Full planning applications for new buildings

These will need to include sufficient detail by which the full impact of the proposals on the character and appearance of the area can be judged. This will need to include consideration of the issues raised in the Conservation Area Appraisal and a design and access statement, which clearly sets out how the proposal is felt to preserve or enhance the character and appearance of the area.

2.3.1 Listed Building Consent

This is required for any works, which affect the architectural or historic interest of the interior or exterior of any Listed Building, and any building constructed before 1 July 1948, which stands within its curtilage. Applications must include a statement, which demonstrates an understanding of the aspects of the building to be affected, describes why the work is needed, explains why any alternative options

were discounted and considers how the damage to any historic fabric will be minimized.

2.4 Conservation Area Consent

This is required for the demolition of any unlisted building within the Conservation Area. In order to justify the works, a statement will need to be provided which considers all the issues outlined below. Where a building is to be replaced by a new structure, consideration of how the building will contribute to the character and appearance of the area will need to be included in a Design and Access Statement to accompany any planning application.

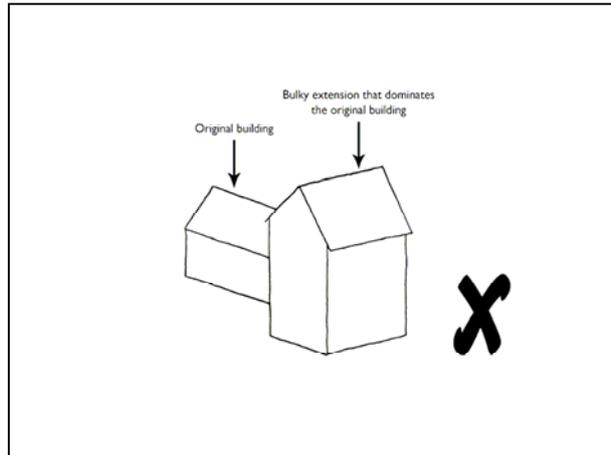
3 Demolition of buildings

- 3.1 There will be a general presumption against demolition of Listed Buildings (including their outbuildings), Buildings of Local Interest and other significant buildings, which are identified in the Conservation Area Appraisal.
- 3.2.1 The demolition of such buildings will only be approved where it can be demonstrated that:
- The building is structurally unsound and repairs would involve the significant loss or alteration of the original structure and any elements of particular historic interest; or
 - It cannot continue in its current use, and it is not capable of being converted to a suitable new use in its current form; and
 - The building has been offered for sale on the open market at the market price for at least six months and that no reasonable offer has been received; and
 - Any proposed replacement building will make an equal or greater contribution to the character and appearance of the area; and
 - Demolition would not result in a long-term cleared site to the detriment of adjacent Listed Buildings or the Conservation Area.
- 3.3 The demolition of other buildings in the area will be approved provided that: -
- The building(s) is / are identified as making either a negative or insignificant contribution to the character or appearance of the area.
 - Any replacement building or feature will preserve or enhance the character and appearance of the Conservation Area. Any application for a replacement building must be accompanied by a design statement, which describes how the new building respects the 'Key Characteristics' of the area as defined in the Conservation Area Appraisal.
 - To avoid unsightly gaps in the Conservation Area, a condition will be imposed on any grant of Conservation Area Consent, which prevents the demolition from taking place until a contract has been let for the redevelopment of the site.

4 Extending Existing Buildings

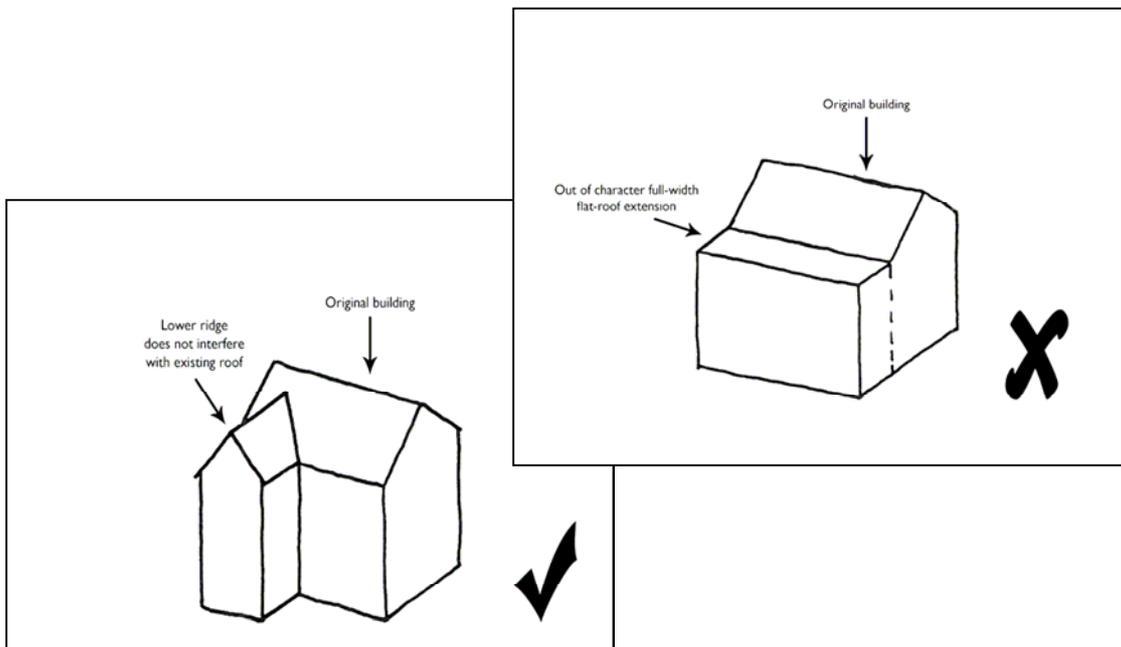
4.1 Extensions should always relate well to the proportions, form, massing and character of the existing buildings.

4.2 In order to maintain the character of the original building, extensions should be subordinate and preferably of a high quality design, with good detailing and using materials that harmonise with the existing buildings.



4.2 Generally, however, taking inspiration from the architectural detailing of the existing house often achieves the most successful design. The scale of the extension should respect the existing building and should not be bulky, wrongly orientated or poorly detailed.

5 Rear Extensions

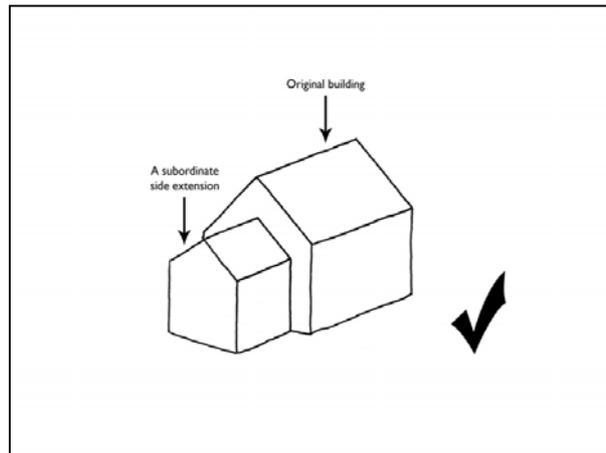


5.1 These are the most common type of extension as they usually offer the greatest degree of flexibility and privacy. Care is needed, however, to ensure that the effect upon neighbouring properties is kept to a

minimum, i.e. an extension should not dominate the neighbour's house or garden or affect their light quality. In order to achieve this, two storey extensions on common boundaries are unlikely to be approved.

- 5.2.1 The eaves level of a rear extension should be kept as low as possible and particular care should be taken to ensure the ridgeline of the new roof does not interfere with the existing roof; it should not be visible from the front of the building.

6 Side extensions



- 6.1 These are appropriate where there is sufficient space between the existing property and its neighbour to retain a reasonable separation between the buildings so that 'terracing' does not occur. This is important in parts of Littleport, where properties are detached dwellings in individual plots.
- 6.2 In some cases, particularly when the house is of a symmetrical composition or it is one half of a semi-detached pair, side extensions should be avoided, unless the design of the extension will retain the symmetry. With semi-detached properties, neighbours should consider undertaking extensions together.
- 6.3 When side extensions are appropriate, they need to relate well to the front of the existing house, as they will often have a big impact on the appearance of the house and the street. The fenestration pattern is especially important with side extensions because the windows are often the dominant feature of buildings and it is therefore important that these are repeated in extensions.
- 6.4 The walls of the extension should be recessed slightly from those of the existing building so that the original form of the dwelling is still visible. This also helps to soften the junction between old and new, which, particularly if there is a change in materials, can look awkward if directly adjacent.

- 6.5 In the case of very modest buildings, a traditional lean-to extension may be more appropriate than trying to mimic the form of the main house.

7 Front extensions

- 7.1 These should generally be avoided as they will often be highly visible in the public realm and disrupt the most important elevation of a building. Porches may be acceptable in some cases, but are subject to the same guidelines as other extensions.

8 Roof extensions

- 8.1 These are a popular way of extending houses, but can pose considerable challenges in order to avoid damaging alterations to the character of the property. In areas such as Littleport, they can be highly visible because of the arrangement of the houses and so their impact on the street must be carefully considered.
- 8.2 Roof extensions should relate well to the local roof form and should reflect or complement the character of the property and the area. Ridgelines and chimneystacks, in particular, are often a key part of a building's character and they should not be altered unless it can be demonstrated that this would create a positive feature. The potential for overlooking should also be addressed in the design.
- 8.3 The size and number of dormer windows should be kept to a minimum and they should generally not be placed on the front elevation (or the elevation most visible from the public realm) unless it is appropriate to the design. The style of windows should be influenced by the design, proportion and arrangement of existing windows in the building. Roof lights should be of the traditional 'Conservation' type, which lies flush with the roof slope and should also be kept off the front roof slope, particularly on formal buildings.

9 Materials (and colours)

- 9.1 Littleport has a varied palette of materials illustrated in the conservation area appraisal. A mixture of Gault brick, red brick, slate, thatch and tiles can be found scattered throughout the town. This palette should be used as a guide for extensions and alterations.
- 9.2 The use of modern materials such as steel, concrete and structural glazing would need to be part of a very high quality design approach in order to provide a successful contrast with the traditional materials in the town.

10 Converting Existing Buildings

- 10.1 The conversion of redundant buildings of townscape value to residential use will be encouraged provided that: -
- It can be demonstrated that the current use of the building is no longer viable.

- The appearance of the building will be maintained without the need for disfiguring extensions or alterations.
- The amenity of adjoining residents will not be significantly affected.
- Adequate car and cycle parking and refuse storage can be provided and suitably screened from public view.
- Existing vehicle accesses are adequate, or appropriately sized accesses can be provided without affecting the overall townscape quality of the area, the setting of the building or involving the loss of any important tree or boundary.
- Any important 'lost', altered or dilapidated architectural details will be restored.

10.2 Several of the buildings in Littleport have previously been converted to residential use. These have successfully maintained the urban character of the town and ensured the buildings survival for the future.

11 Single housing developments

11.1 Littleport is designated as a 'Market Town' and a 'Secondary Town Centre' in which development will be limited in scale to meet locally identified needs.

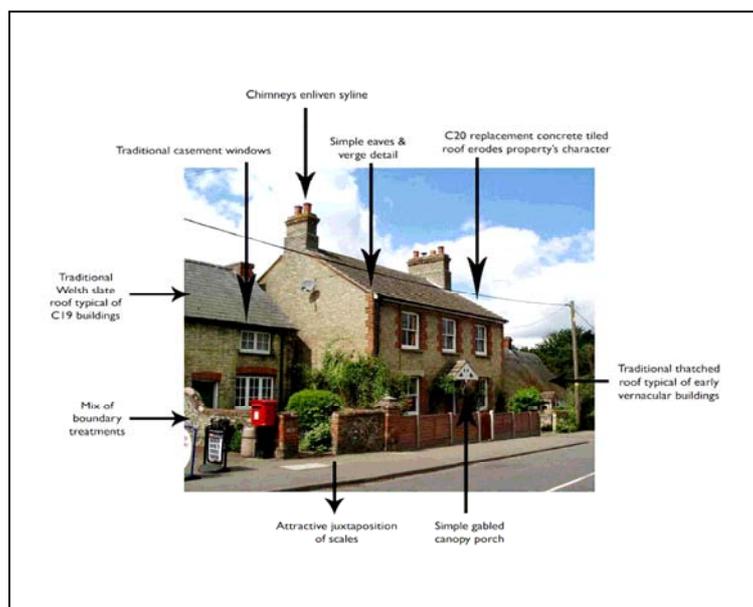
Context

11.2 The Littleport Conservation Area Appraisal describes the town's historic and architectural significance; i.e. how the existing buildings relate to the street, the size and shape of plots, boundary treatments, building heights and line, materials, detailing, etc.

Building line / position on the plot

11.3 Littleport conservation area has an urban feel with many of the properties built along the back edge of the pavement. The building lines are linear and confirm to a traditional 'street pattern'.

Detailing



- 11.4 Architectural details should follow on from the design principles, which influenced the basic form of the building and should therefore reflect the style of the property. This should ensure that the building's elevation treatment fits in with the neighbouring properties.

Windows

- 11.5 These should generally have a vertical emphasis, be set within reveals and should not be of PVCu. Timber windows with a vertical emphasis, usually achieved by the subdivision of the window into symmetrical panes, have a much softer visual appearance and allow finer detailing. If maintained properly, they are also more durable than aluminium or PVCu windows.
- 11.6 The type of window should relate to the status of the building. There is a mixture of casement and sliding sash windows throughout the village and several properties look to have had PVCu fitted at some point in the past.

Dormers and roof lights

- 11.7 The number of roof lights should be kept to a minimum and should generally only be used on rear roof slopes. The proportion and arrangement of existing windows should also be taken into account. Roof lights should be of conservation standard, these should have a vertical emphasis and lie flush with the roof slope.

Doors

- 11.8 Doors should generally be of solid appearance and should not have fanlights set within the door itself. Traditional wooden doors are most appropriate and these should match the style and status of the property. Fanlights are generally only appropriate for higher status buildings.

Window / door heads and cills

- 11.9 These are a traditional feature in many buildings and are common framing for windows and doors. These not only provide visual support but also provide detailing and interest on building facades.
- 11.10 Soldier courses are a more modern design feature and may not always be appropriate, gauged brick arches or segmental heads are a more appropriate alternative.
- 11.10 Cills and detailing are found in a mix of materials including brick and stone. Any detailing should be considered on its own merit and dependant on its location.

Porches

- 11.11 Porches are not a traditional feature within East Cambridgeshire, although there are a few examples of within the district. The introduction of porches may not be appropriate within the conservation area.

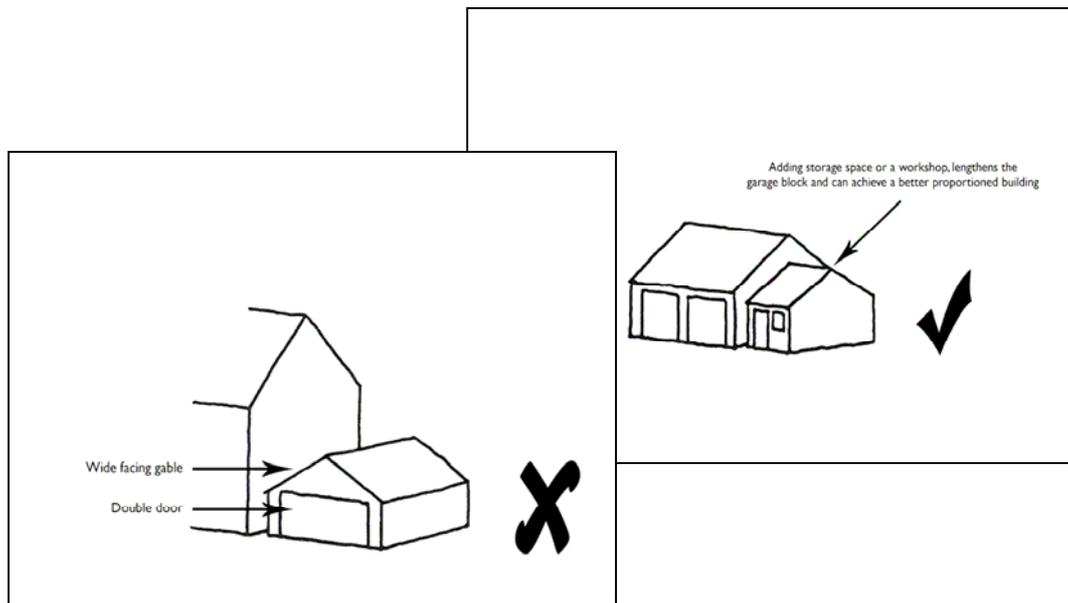
Eaves, verges and chimneys

- 11.12 Traditional eaves and verges are simply detailed without soffits, fascias or bargeboards. Modern boxed eaves and deep fascias or bargeboards should be avoided on new buildings due to their heavy appearance.
- 11.13 Chimneys are a traditional feature of dwellings and are a common feature along the skyline. Chimneys can have a significant impact on the character and appearance of an area by creating a varied and interesting skyline and these should be retained wherever possible. Their use in the design of new buildings should be encouraged also.

12 Materials

- 12.1 Materials should be firmly rooted in the vernacular of the area and should not introduce alien details or materials from other areas, as this will harm local distinctiveness and character. Modern materials can be used successfully in some cases provided the design and construction is of high enough quality and respects the form and scale of Littleport.
- 12.2 Whatever approach is used, a limited palette of materials will usually achieve the best result. Using locally sourced materials is often the most sustainable option too as it reduces the need for transport.

13 Outbuildings



- 13.1 Garages and other outbuildings such as offices and large sheds/summerhouses, should relate to the style of the main property, but should remain subordinate to it. They should also be subject to the same design principles as any other new building.
- 13.2 Double garages pose particular design problems because of their size and non-traditional plan form which means that they either have shallow pitched roofs or steeply pitched roofs. To minimise their townscape impact, they should be set back from the main building line

and should have two single vertically boarded timber garage doors rather than one double garage door.

- 13.3 Providing tandem garages instead or combining double garages with other uses by extending the block sideways can help to achieve a better-proportioned building.
- 13.4 Boundary treatments should reflect those of neighbouring properties and the status of the building. A traditional boundary treatment is brick and these are commonly found throughout the conservation area. There are several areas where these boundary treatments are very prominent within the streetscape and these should be retained wherever possible.

14 Landscaping

- 14.1 Existing site features, in particular trees, hedges, grass verges and boundary walls, should be retained and incorporated in the external treatment of the new dwelling(s). These features add instant maturity to the development and are often important to the townscape. Where new planting is to be added, it should preferably be of indigenous species, which helps to maintain a link between the village and the surrounding countryside.
- 14.2 Large areas of hard landscaping using materials such as brick paviors can be inappropriate in a rural setting and should be avoided. Driveways should instead be surfaced with low-key informal materials such as shingle or bound gravel, especially where these cross grass verges.
- 14.3 The District Council will work with the Parish Council to encourage the Highway Authority and statutory undertakers to ensure verges are not removed or damaged.